

ZONING

BUILDING	RESIDENTIAL GROUP R-2 APARTMENT HOUSE
ZONING	RF-1
SQUARE	2825
LOT	0127
ALLOWABLE FAR	N/A
ALLOWABLE LOT OCCUPANCY	60% (45.1% PROVIDED)
ALLOWABLE HEIGHT	35FT (35FT PROVIDED)
ALLOWABLE STORIES	3
FRONT YARD SETBACK	NO LESS OR GREATER THAN EXISTING SETBACK IN THE SAME BLOCK
REAR YARD SETBACK	20FT (58'-9" PROVIDED)
SIDE YARD SETBACK	NONE
PERVIOUS SURFACE	20% (28.8% PROVIDED)

BUILDING

	EXISTING	PROPOSED
YEAR BUILT	1919	
LOT AREA	2,700SF	
BUILDING AREA	768SF (PUBLIC REC.)	1,218SF
LOT OCCUPANCY	28.4%	45.1%
CONSTRUCTION TYPE	5A	5A
GROSS FLOOR AREA	1,536SF (PUBLIC REC.)	3,366SF
GROSS FLOOR AREA W/CELLAR	2,304SF (PUBLIC REC.)	4,518SF
NUMBER OF STORIES ABOVE GRADE	2	3
CELLAR	1	1
PARKING	1	2
USE GROUP	R-3	R-2
PERVIOUS SURFACE	N/A PER RF-1 ZONING	N/A PER RF-1 ZONING
WIDTH /LENGTH/ HEIGHT	18FT/54FT/28.67FT	18FT/77FT/35FT

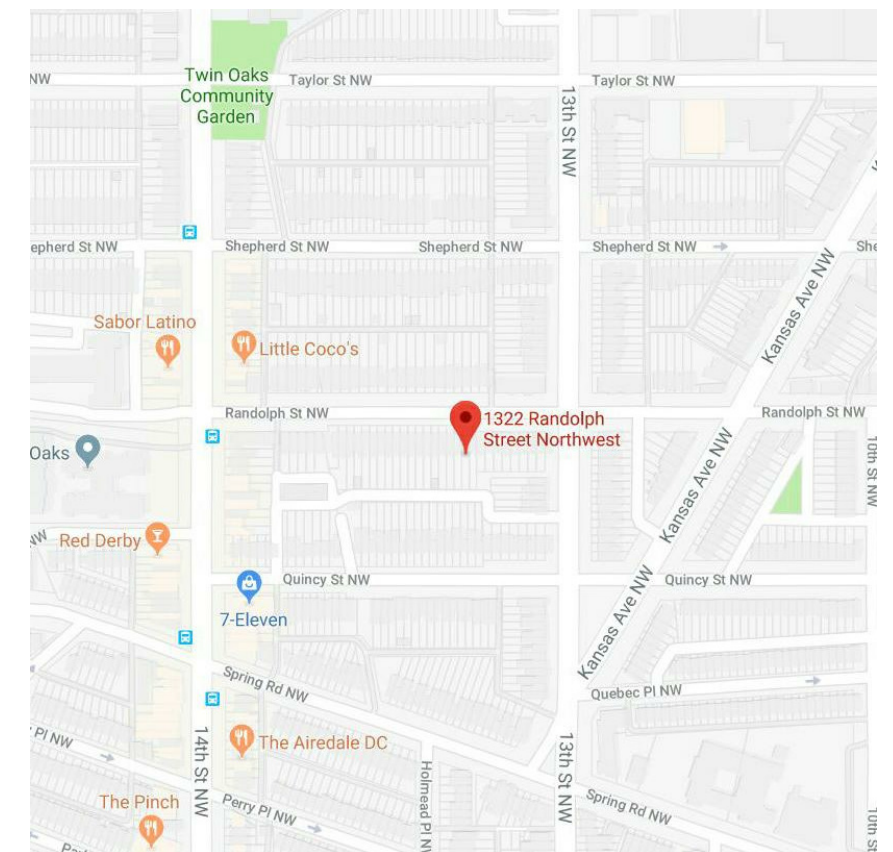
OCCUPANCY CALCULATION

PORCH	8.67X18=156
EXISTING	54X18=972
NEW DECK	6X13.56=82
SPIRAL STAIR	3.17X3.14X3/4=8
TOTAL	1,218SF
OCCUPANCY	1,218/2,700=45.1%

PERVIOUS SURFACE CALCULATION

STAIR TO 1ST	3.92X6.17=25
STAIR TO BSMT	3.5X4=14
PORCH	8.67X18=156
EXISTING	54X18=972
AREA WAY	13X18=234
WALKWAY	4.67X34.65=162
PARKING	20X18=360
TOTAL	1,923SF
PERVIOUS SURFACE	1-1,923/2,700=28.8%

VICINITY MAP



Project Name

1322 Randolph St. NW WDC 20011

Drawing Name

Cover Sheet, Site Plan

Number

00-1

Date of Zoning Adjustment

District of Columbia
CASE NO 19821
2/15/17/12/400
10/8/2018

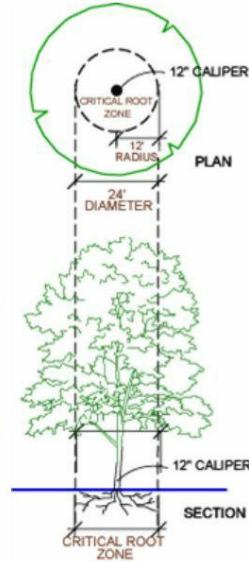
Critical Root Zone

The CRZ is equal to:

One foot of tree protection for every inch in tree diameter

For example, a tree with a 12-inch DBH or caliper breast height, would require 12 feet of protection on every side measured from the base of the tree.

This area must be protected using 4' fence (orange mesh construction fence is acceptable)



In the CRZ:

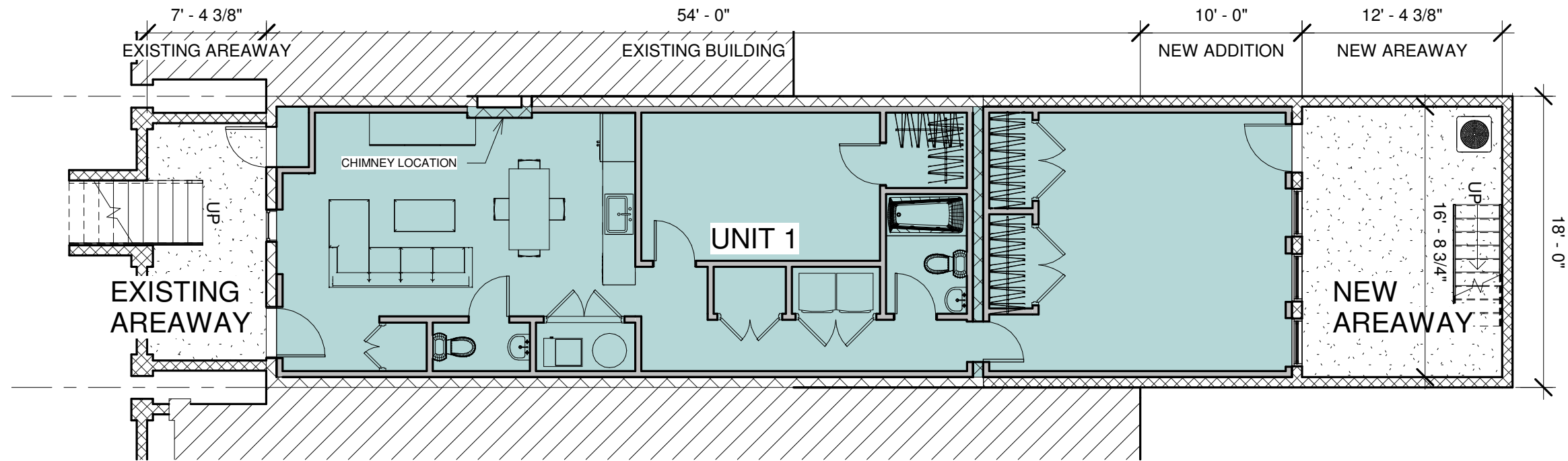
- (1) No alteration or disturbance to existing grade
- (2) No storage of construction materials, equipment, soil, or debris
- (3) No disposal of any liquids e.g. concrete, gas, oil, paint; and blacktop
- (4) No trenching within the critical root zone
- (5) Trees within the CRZ must be watered every 10 days from April-September

TREE PROTECTION
(EXCEPT FOR FENCE)

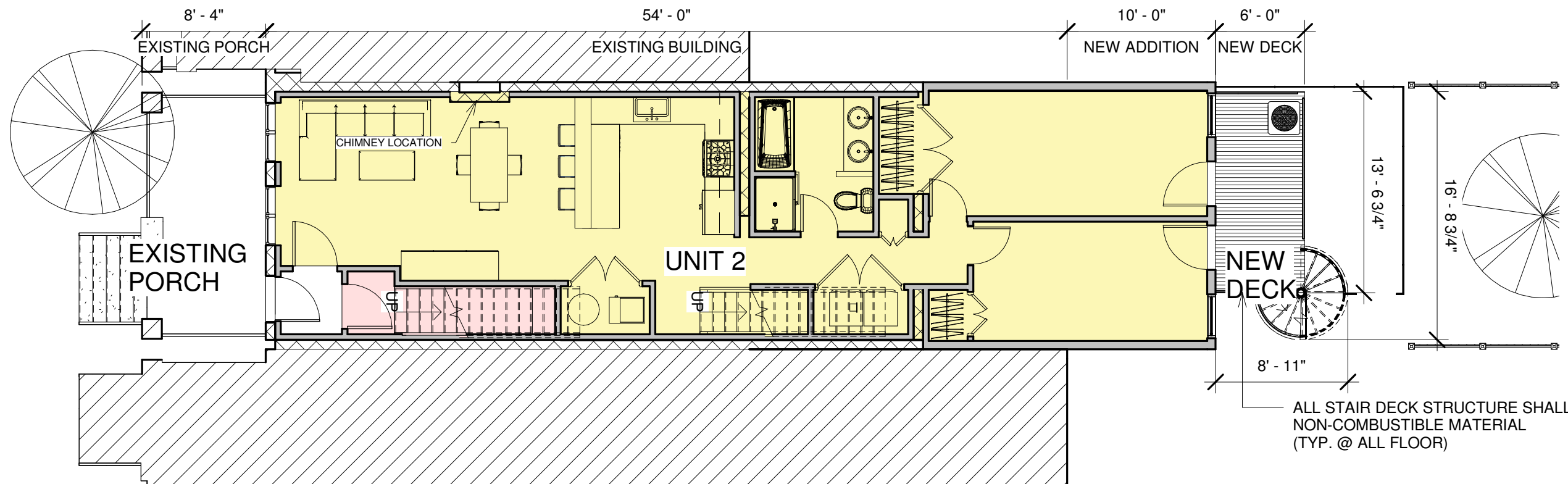
1322 RANDOLPH St. NW 20011

LOT AREA	2,700 SF
BUILDING AREA	1,218 SF
GROSS FLOOR AREA	3,638SF
1ST FLOOR	1,218SF
2ND FLOOR	1,218SF
3RD FLOOR	1,202SF
CELLAR	1,152SF
GFA(INCLUDING CELLAR)	4,790SF

1 BZA CELLAR FLOOR PROPOSED
1/8" = 1'-0"



2 BZA FIRST FLOOR PROPOSED
1/8" = 1'-0"



ALL STAIR DECK STRUCTURE SHALL BE MADE BY
NON-COMBUSTIBLE MATERIAL
(TYP. @ ALL FLOOR)



Project Name

1322 Randolph St. NW WDC 20011

Drawing Name

Plans

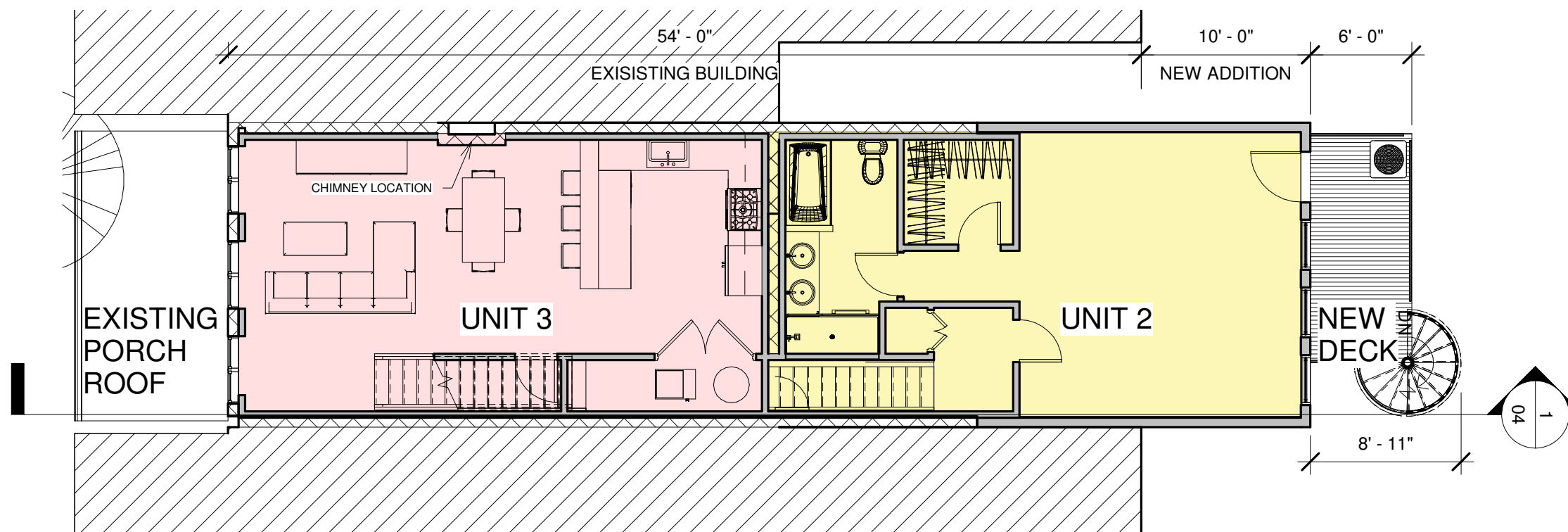
Number

01

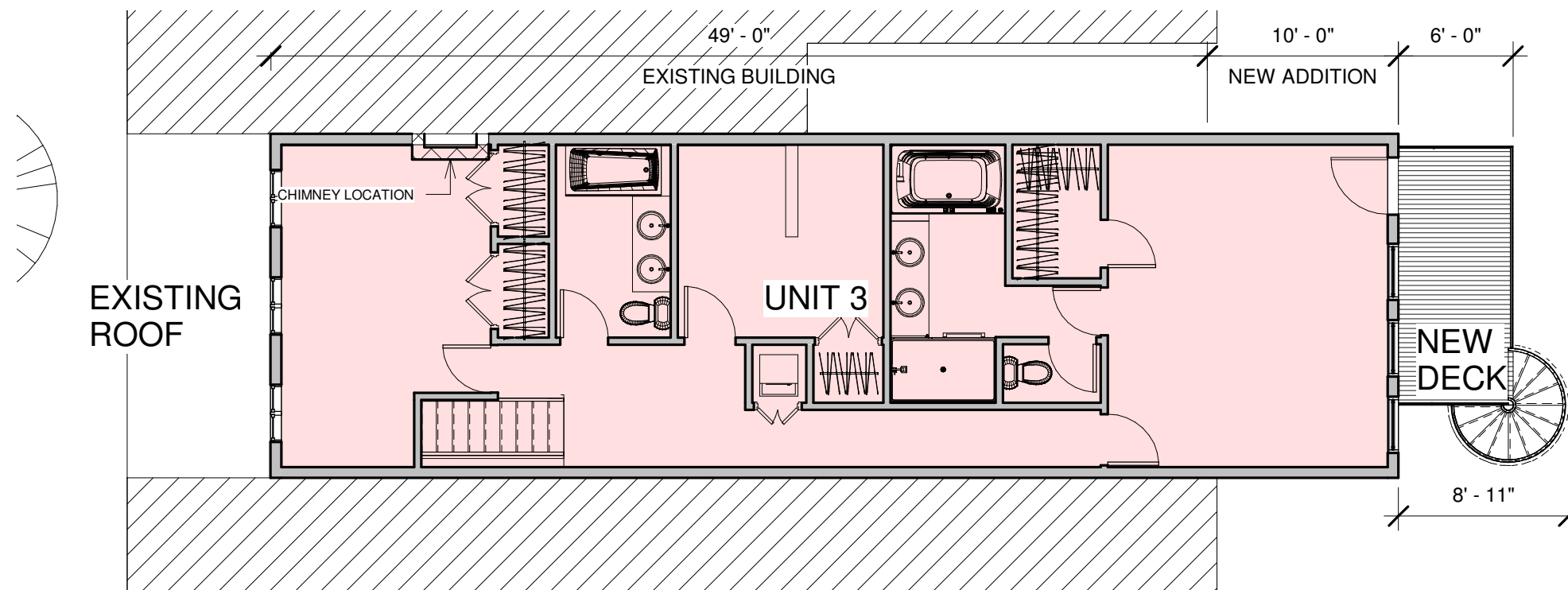
Date

10/8 /2018

1 BZA SECOND FLOOR PROPOSED
1/8" = 1'-0"



2 BZA THIRD FLOOR PROPOSED
1/8" = 1'-0"



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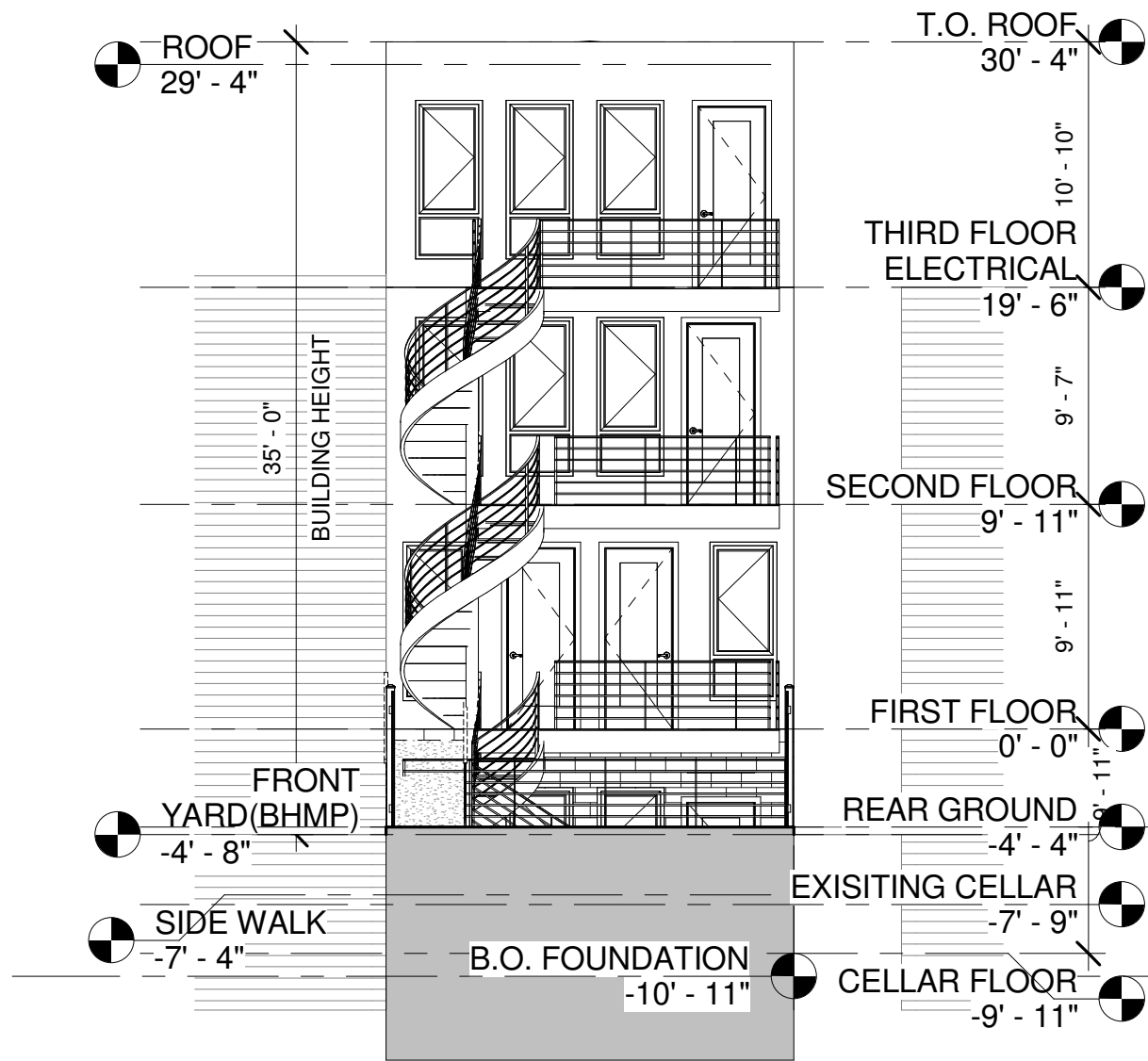
Plans

Number

02

Date

10/8 /2018



② BZA SOUTH ELEVATION
1/8" = 1'-0"



① BZA NORTH ELEVATION
1/8" = 1'-0"

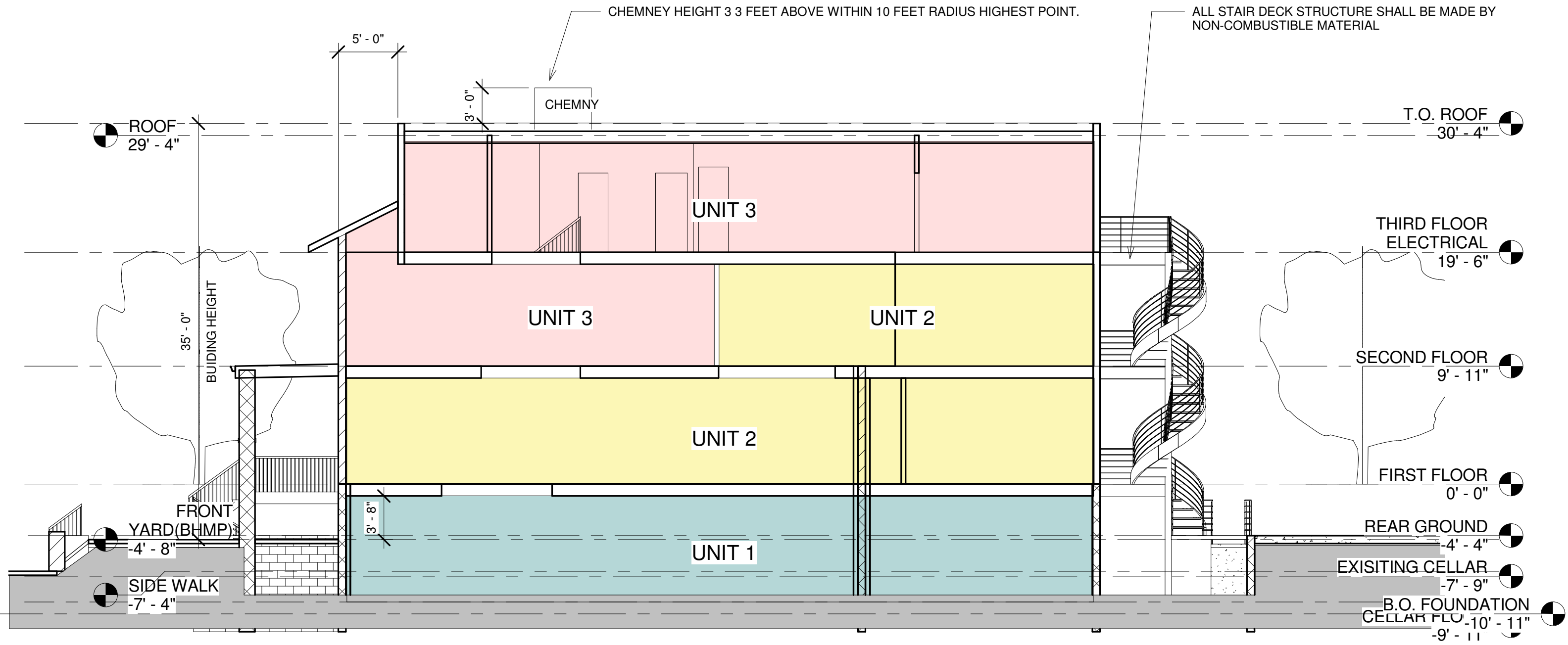


Project Name
1322 Randolph St. NW WDC 20011

Drawing Name
Elevations

Number
03

Date
10/8 /2018



1 BZA Longitudinal Section
 1/8" = 1'-0"



Project Name
1322 Randolph St. NW WDC 20011

Drawing Name
Section

Number
04

Date
10/8 /2018